

±3,000-ACRE
INDUSTRIAL
DEVELOPMENT

MANUFACTURING /
DISTRIBUTION / FLEX
BUILD-TO-SUIT



SLC-GLC
SALT LAKE CITY
GLOBAL LOGISTICS CENTER

SLC GLOBAL LOGISTICS CENTER

SALT LAKE CITY, UTAH



CBRE

 WWW.SLC-GLC.COM

 **COLMENA**
GROUP



 **STOKES STEVENSON**



SLC GLOBAL LOGISTICS CENTER is strategically located off I-80 a few minutes west of Salt Lake City International Airport. Upon completion, Phase I will include 12 buildings totaling nearly 5.5 million square feet.

- Approximately 3,000 acre development
- Approximately 50 million square feet of future entitled development
- Phase 1: ±5.5 million square feet
- M-1 Light Industrial Global Trade Zoning
- Flat Topography
- Future Foreign Trade Zone Designation
- Rocky Mountain Power 138 kVA substation (expandable)
- Two (2) 21" forced sewer lines
- Redundant 24" steel water lines
- Partially Rail Served

UTAH INLAND PORT JURISDICTION

The project lies within the current **UTAH INLAND PORT** jurisdictional area, which consists of a total of approximately 16,000 acres in Salt Lake County. The creation of the Utah Inland Port has opened the way for Utah to not be just the Crossroads of the West, but the "Crossroads of the World".

More information can be found at:
inlandportauthority.utah.gov

LOCATION AERIAL



LOCAL DRIVE TIMES

- Direct access to I-80
- 5 minutes to newly renovated Salt Lake International Airport
- 10 minutes to Salt Lake City's Central Business District (CBD)
- 10 minutes to I-15
- 2 miles from 16 hotels

SUSTAINABLE FEATURES IN THE SLC GLOBAL LOGISTICS CENTER



WHITE TPO ROOF (60 MIL).
SOLAR REFLECTIVE INDEX 98/83
(AFTER 3 YEARS)



ROOF INSULATION SYSTEM
R-30



SKYLIGHTS
OVER INTERIOR BAYS FOR DAYLIGHTING



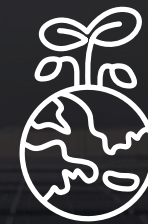
SANDWICH PANEL WALLS
(12.25" THICK) WITH TOTAL R VALUE OF 25.7
(USING ASHREA 90.1 MASS WALL CREDIT)



CLERESTORY WINDOWS
AROUND WAREHOUSE PERIMETER FOR
ADDITIONAL DAYLIGHTING



ALL OVERHEAD DOORS
INSULATED R-7.35



ALL GLASS SOLARBAN 60 TINTED
(U-VALUE 0.29, SHGC 0.25)



ALL INTERIOR, EXTERIOR & SITE
LIGHT FIXTURES ARE LED



EQUIPPED FOR INSTALLATION
OF ELECTRIC VEHICLE CHARGING STATIONS



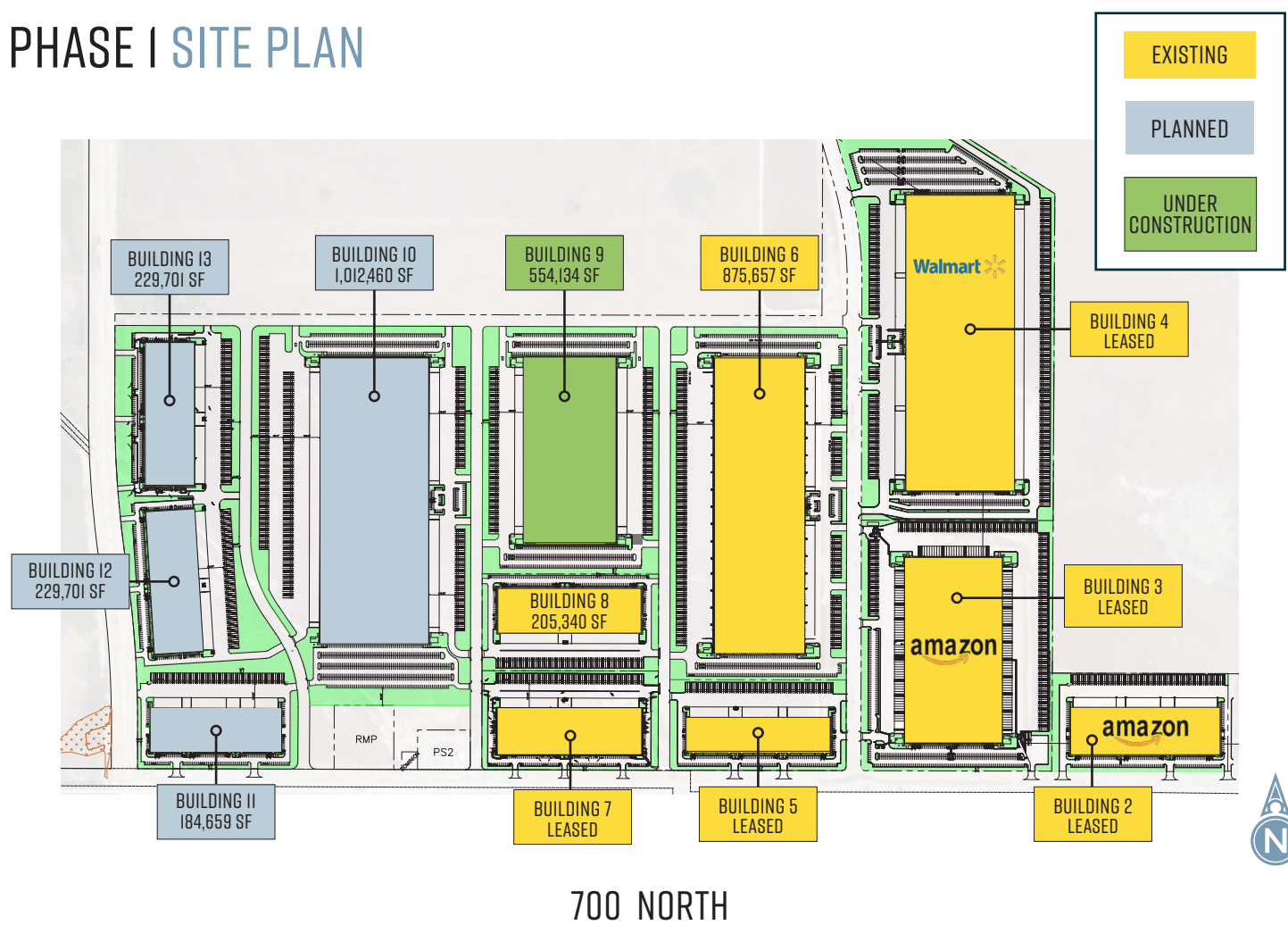
ROOF STRUCTURE AND ELECTRICAL GEAR
& CONDUIT DESIGNED TO INTEGRATE FULL
SOLAR ROOFTOP ARRAY



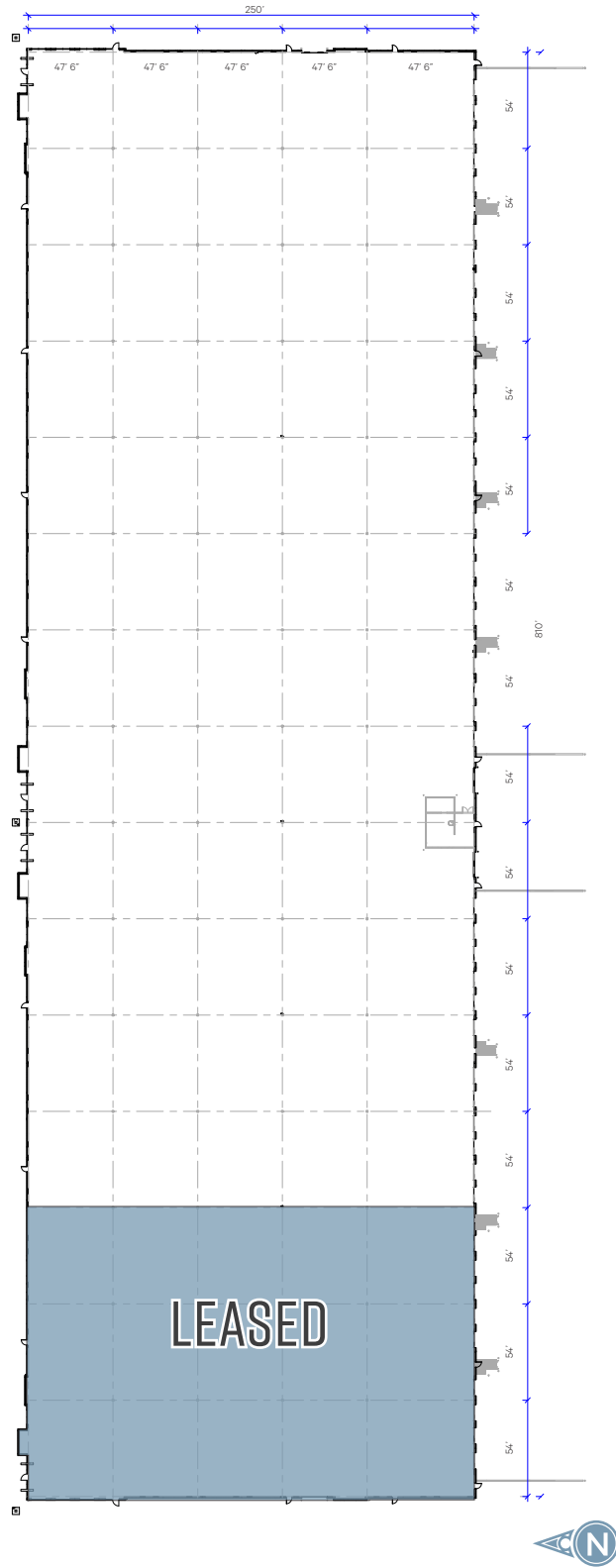
WATER WISE LANDSCAPING
UTILIZING ONLY NATIVE PLANTINGS IN
STRICT COMPLIANCE WITH SALT LAKE
CITY'S NATIVE PLANT DATA BASE



PHASE I SITE PLAN



BUILDING 8 FLOOR PLAN



BUILDING 8 781 NORTH 6715 WEST SPECIFICATIONS

REAR LOAD CONFIGURATION

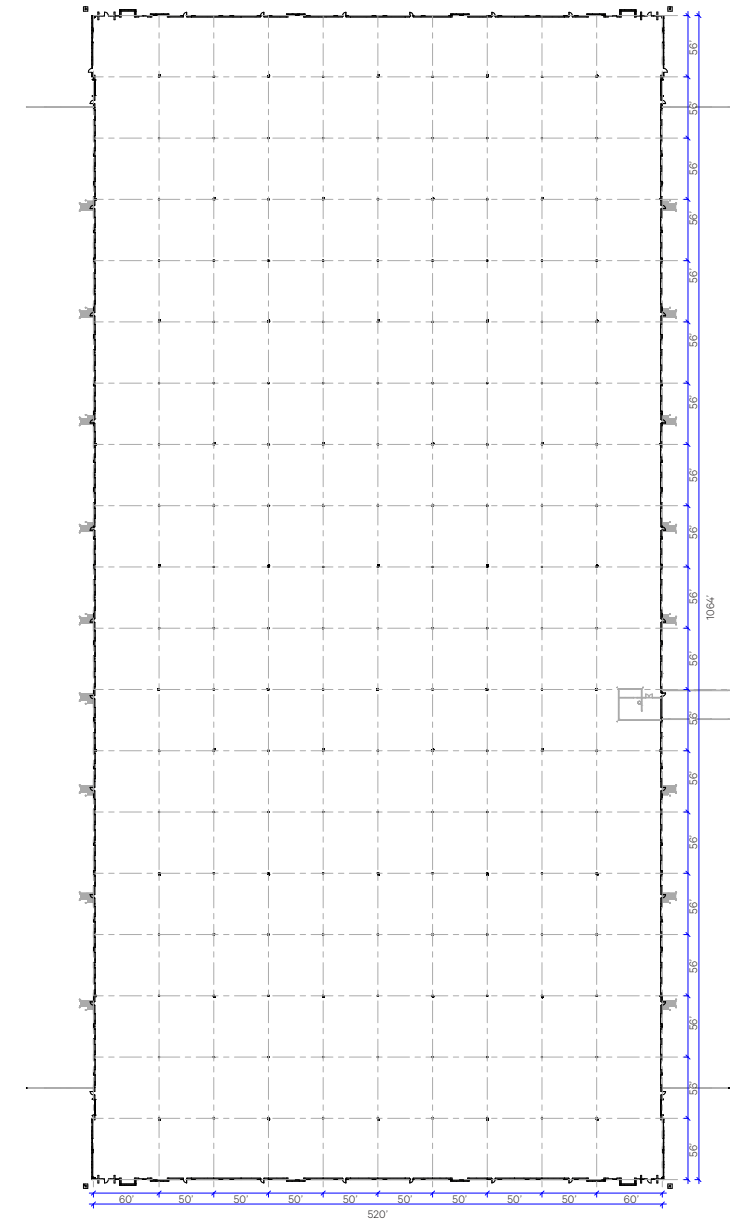
BUILDING SIZE:	205,340 SQ. FT.
AVAILABLE:	163,912 SQ. FT.
DIVISIBLE TO:	+/-41,428 SQ. FT.
DIMENSIONS:	250' DEEP X 810' WIDE
TYPICAL COLUMN SPACING:	54' X 47'6"
TRUCK COURT:	200' (INCLUDES TRAILER PARKING)
CEILING CLEARANCE:	32'
POWER:	2500 AMPS, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	6" REINFORCED
DOCK HIGH DOORS:	35
GRADE LEVEL DOORS:	3
TRAILER PARKING:	55 STALLS
EMPLOYEE PARKING:	161 STALLS

BUILDING 9 905 NORTH 6715 WEST SPECIFICATIONS

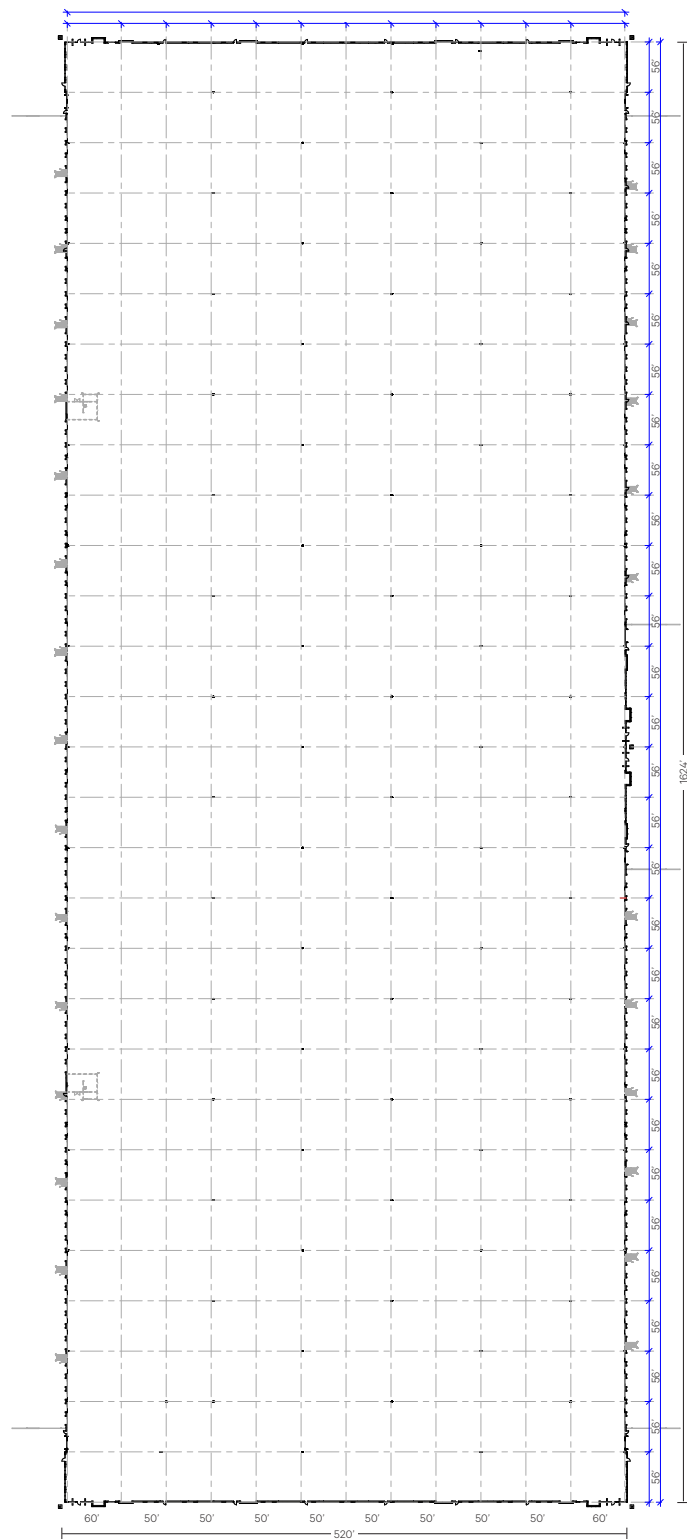
CROSS LOAD CONFIGURATION

BUILDING SIZE:	554,130 SQ. FT.
AVAILABLE:	554,130 SQ. FT.
DIVISIBLE TO:	+/-145,000 SQ. FT.
DIMENSIONS:	1064' WIDE X 520' DEEP
TYPICAL COLUMN SPACING:	56' X 50' (60' END CAPS)
TRUCK COURT:	150'
CEILING CLEARANCE:	40'
POWER:	4 SERVICES OF 1000 AMP, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	7" REINFORCED
DOCK HIGH DOORS:	109
GRADE LEVEL DOORS:	4
TRAILER PARKING:	70 STALLS
EMPLOYEE PARKING:	613 STALLS

BUILDING 9 FLOOR PLAN



BUILDING 10 FLOOR PLAN



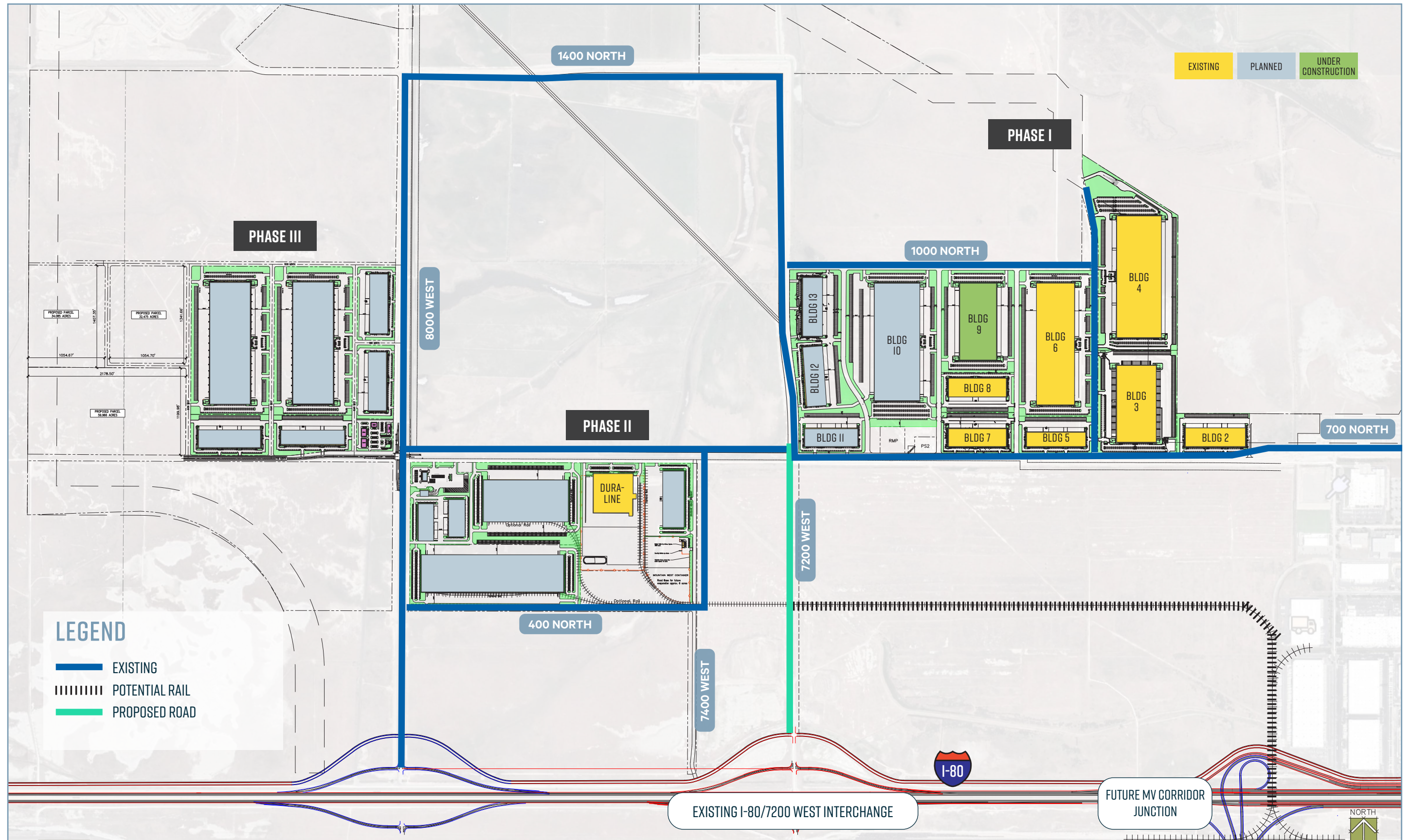
BUILDING 10 SPECIFICATIONS

CROSS DOCK CONFIGURATION

BUILDING SIZE:	1,012,460 SQ. FT.
AVAILABLE:	1,012,460 SQ. FT.
DIVISIBLE TO:	+/-253,115 SQ. FT.
DIMENSIONS:	1624' WIDE X 620' DEEP
TYPICAL COLUMN SPACING:	56 X 50'
TRUCK COURT:	150'
CEILING CLEARANCE:	40'
POWER:	6 SERVICES OF 1200 AMP, 277/480 VOLT, 3 PHASE
CONSTRUCTION TYPE:	CONCRETE TILT
FIRE SUPPRESSION:	ESFR
FLOOR SLAB:	7" REINFORCED
DOCK HIGH DOORS:	159
GRADE LEVEL DOORS:	6
TRAILER PARKING:	296 STALLS
EMPLOYEE PARKING:	847 STALLS



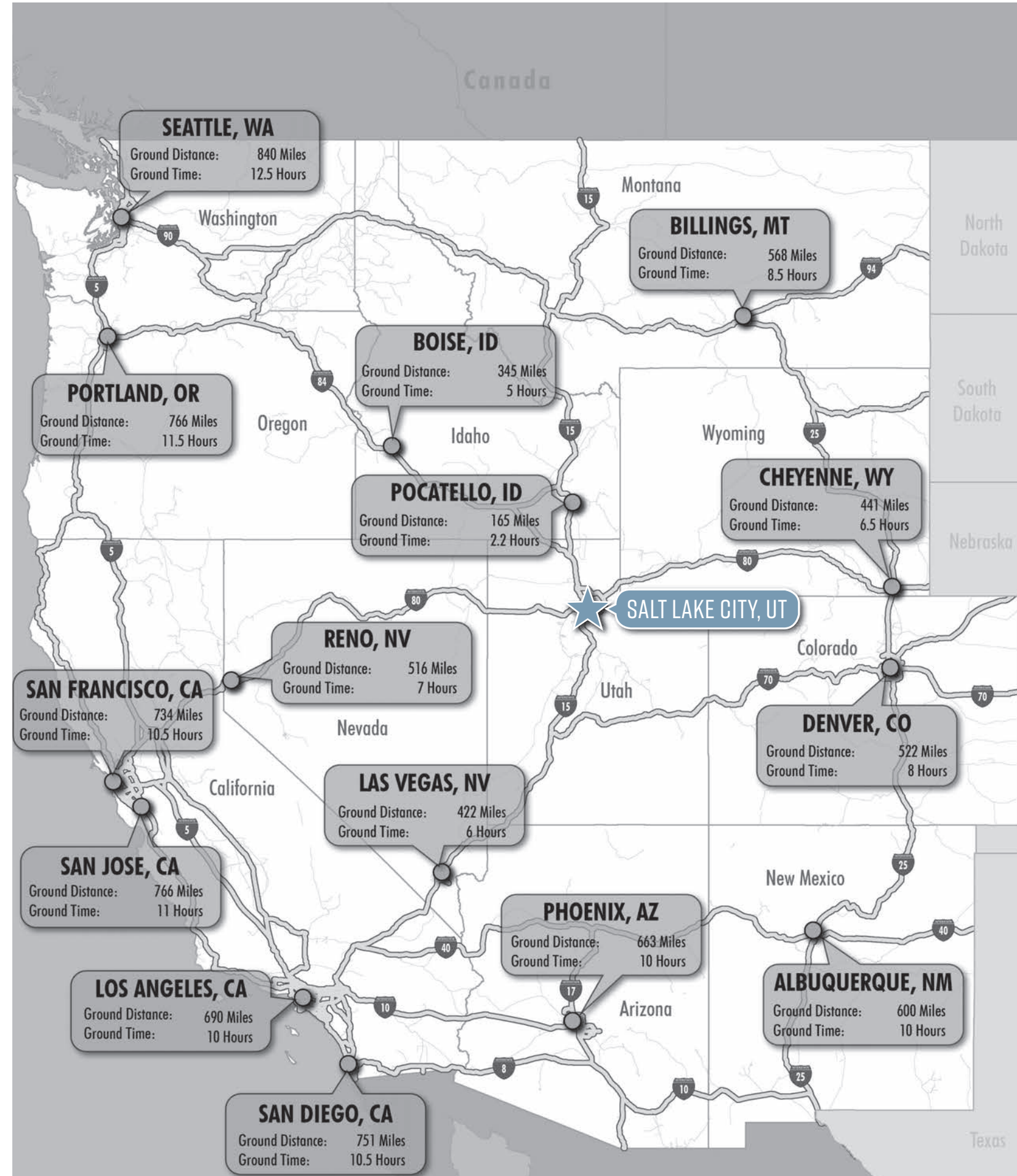
SLC GLOBAL LOGISTICS CENTER MASTER PLAN



LOCATION AERIAL



REGIONAL DRIVE TIMES



UNION PACIFIC & BNSF INTERMODAL CONNECTIVITY - PORTS



#1

ANNUAL JOB GROWTH
AT 3.0% ANNUALLY
(STATISTA, 2019)

#2

BEST ECONOMY
(US NEWS, 2019)

REGIONAL WORKFORCE
DEVELOPMENT RANKING
IN MOUNTAIN REGION
(SITE SELECTION, 2019)

BEST STATE
FOR LABOR SUPPLY
(FORBES, 2017)

TOP ECONOMIC OUTLOOK
(ALEC, 2020)

BEST STATES
FOR BUSINESS
(USA TODAY, 2019)

#3

BEST STATE FOR
BUSINESS (FORBES, 2019)
ONLY STATE TO MAINTAIN #3 OR
HIGHER SINCE 2007.

#3

TOP ECONOMY
(CNBC, 2019)

#3

BEST
INFRASTRUCTURE
(US NEWS)

#4

TOP STATES
FOR BUSINESS
(CNBC, 2019)

#4

BEST STATES TO LIVE
(WORLD POPULATION, 2020)

#9

STATE BUSINESS
TAX CLIMATE
(WORLD POPULATION, 2020)

TOP 10

NORTH AMERICAN
SKI RESORTS

- #4 ALTA & SNOWBIRD
- #10 PARK CITY (USA TODAY)

6.34

¢/KWH

ROCKY MOUNTAIN POWER RATES
AMONG NATION'S LOWEST
(EDISON ELECTRIC INSTITUTE, 2016)



LOCATED IN EQUAL DISTANCES
FROM ALL MAJOR
WESTERN MARKETS



WITHIN 2.5 HOUR FLIGHT
OF MORE THAN HALF OF
THE U.S. POPULATION



RANKED ONE OF THE
MOST "OUTDOORSY"
STATES IN THE U.S.



PROVO & SLC - BEST U.S. CITIES
TO LIVE IN IF YOU LIKE
THE OUTDOORS



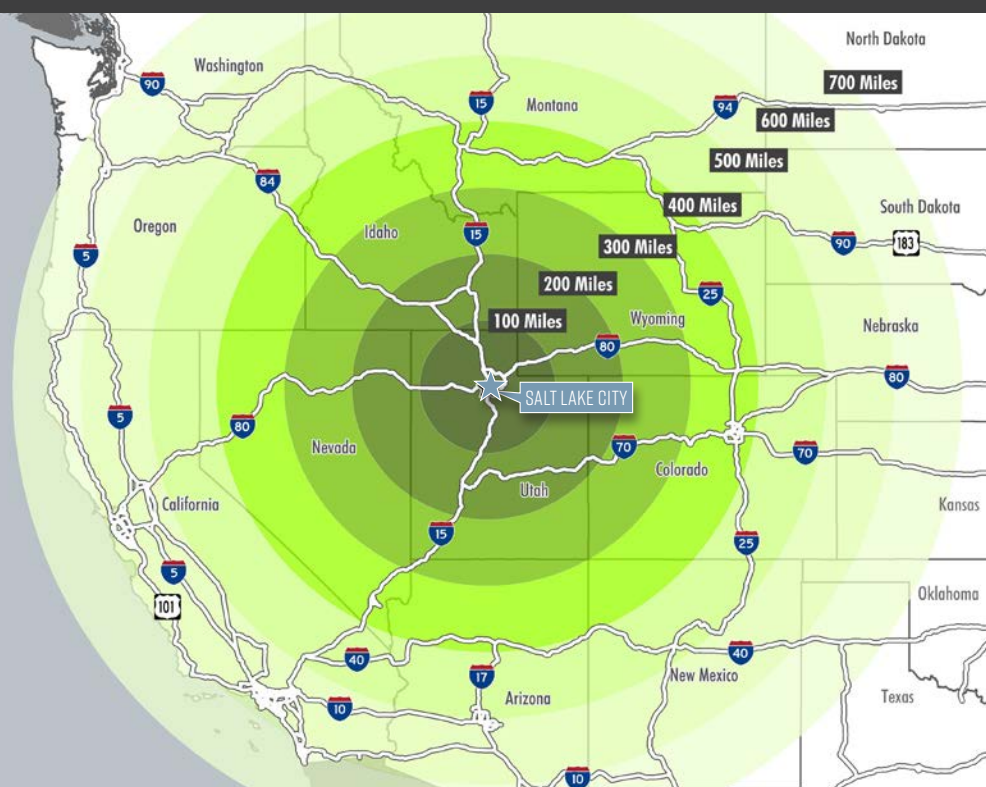
TOP MOUNTAIN BIKE
DESTINATIONS NORTH AMERICA
(SINGLETRACKS, NAT'L GEOGRAPHIC)

WHY UTAH?

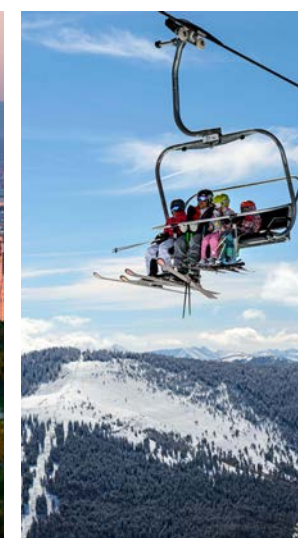


REGIONAL RADIAL MAP

	2020 POPULATION	2025 POPULATION
100 MILES	2,970,467	3,236,637
200 MILES	3,709,965	4,012,165
300 MILES	5,059,972	5,457,931
400 MILES	13,773,898	14,840,350
500 MILES	20,523,678	21,923,724
600 MILES	60,354,690	63,167,183
700 MILES	76,704,211	80,198,382



SOURCE: U.S. CENSUS BUREAU, CENSUS 2010. ESRI FORECASTS FOR 2016 AND 2021. ESRI CONVERTED CENSUS 2000 DATA INTO 2010 GEOGRAPHY.





SLC GLC

SALT LAKE CITY
GLOBAL LOGISTICS CENTER

A Quality Development By:



STOKES STEVENSON

CBRE

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